

**SITE DATA:**

LOT AREA (D-5)  
 PARCEL: # 1048058  
 PARCEL SIZE: 5857 SQ. FT.  
 PROP. RESIDENCE AREA: 1072 SQ. FT.  
 PROP. GARAGE AREA: 420 SQ. FT.  
 PROP. GARAGE DRIVEWAY AREA: 111 SQ. FT.  
 PROP. FRONT CONC. SIDEWALK AREA: 63 SQ. FT.  
 PROP. BACK CONC. SIDEWALK AREA: 182 SQ. FT.





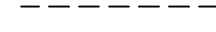


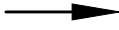

**NOTE:**

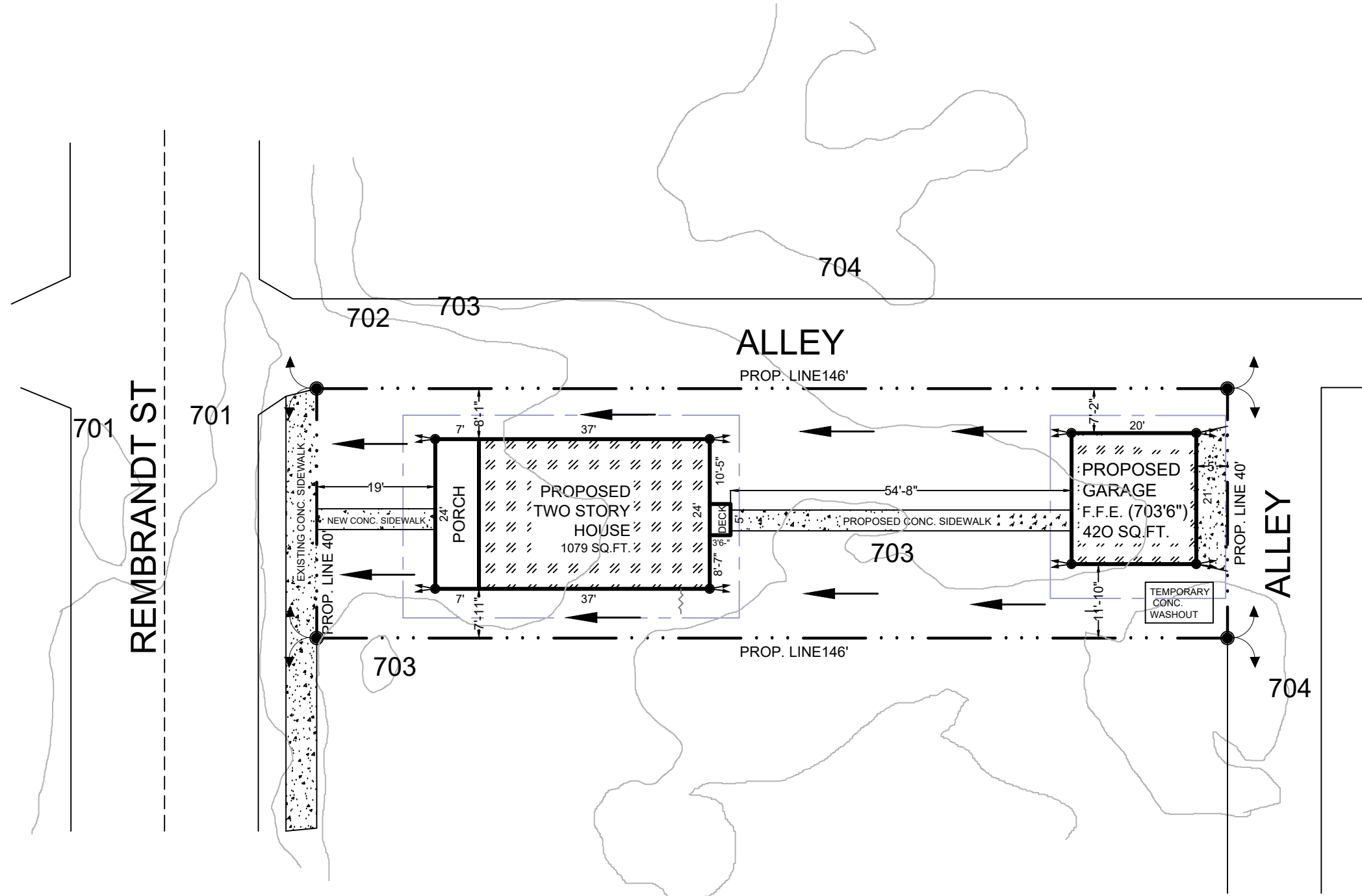
THIS SITE IS SCHEMATIC AND IS PROVIDED TO SHOW APPROXIMATE ACREAGE AND LOCATIONS OR SIZES OF A BUILDING (OR BUILDINGS) THAT WILL FIT ON THIS SITE. CHANGES MAY BE REQUIRED ONCE A FINAL SURVEY WITH CURRENT BOUNDARIES, EASEMENTS, RIGHT-OF-WAYS AND DIMENSIONS OR AFTER FINAL ZONING REVIEW IS COMPLETED.

**GENERAL EXISTING SITE NOTES**

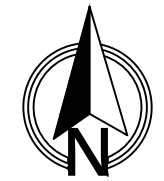
- 1.- THESE DRAWINGS ARE INTENDED TO OUTLINE THE GENERAL SCOPE OF WORK. CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING ANY WORK. CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR ADHERING ALL APPLICABLE CODES AND GENERALLY ACCEPTED TRADE PRACTICES.
- 2.- NO TOPOGRAPHIC SURVEY FOR PROPERTY HAS BEEN PROVIDED. DRAWINGS AND FEATURES OF THE SITE WERE OBTAINED BASED OF FIELD VERIFIED DIMENSIONS, CURSORY REVIEW, PHOTOGRAPHY AND OTHER RELIABLE MEANS OF INSPECTION. AS A RESULT, ALL WORK MUST BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION. CONFLICTS BETWEEN THESE PLANS AND THE FIELD CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER AND/OR ARCHITECT FOR VERIFICATION AND/OR CORRECTION.
- 3.- UTILITY LOCATIONS AND ROUTING ARE UNKNOWN. CONFIRM LOCATION OF WATER, SANITARY SEWER, ELECTRICAL AND GAS UTILITIES IN FIELD AND WITH LOCAL UTILITY COMPANIES AS REQUIRED PRIOR TO COMMENCEMENT OF WORK.
- 4.- PROVIDE SILT FENCING AROUND CONSTRUCTION PERIMETER AS REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION.
- 5.- HEAVY CONSTRUCTION MACHINERY MUST ENTER THE PROPERTY FROM THE ALLEY. NO CONSTRUCTION EQUIPMENT IS ALLOWED TO ENTER THE SITE FROM THE LOT FRONTAGE.
- 6.- THE ARCHITECT/DESIGNER SHALL BEAR NO FINANCIAL RESPONSIBILITY FOR THE CONSTRUCTABILITY OF THIS PROJECT.
- 7.- COORDINATE STACKING OF BUILDING CORNERS AND BENCHMARK ELEVATIONS WITH SURVEYOR AS REQUIRED TO ESTABLISH PROPER GRADES AND FINISH FLOOR ELEVATIONS.

**SITE LEGEND**

	PROPERTY LINE		SPOT ELEV. / DRAINAGE DIRECTION
	BUILDING FOOTPRINT		DIRECTION CONTOUR LINE
	ROAD CENTERLINE		FLOW ARROW
	SILT FENCE		FLOW DIRECTION
	CONCRETE		



PROJECT:  
 1723 REMBRANDT ST  
 Indianapolis, IN, 46202



SCALE  
 1"=20'-0"

ISSUE DATE  
 04/20/2020

DRAWN BY  
 J.DE. JESUS

DRAWING TITLE:  
 SITE PLAN

CERTIFIED BY:

SHEET NUMBER:  
**C1**



**RIVERA**  
GROUP, LLC

1073 OLIVER AVE. INDIANAPOLIS, IN. 46221  
PHONE: (317) 328-1704 FAX: 317-328-1756  
EMAIL: admin@riveragroupindy.com

PROJECT:  
1723 REMBRANDT ST  
Indianapolis, IN, 46202



SCALE  
1/8"=1'-0"

ISSUE DATE  
04/20/2020

DRAWN BY  
J.DE. JESUS

DRAWING TITLE:  
PROPOSED  
FLOOR PLANS

CERTIFIED BY:

SHEET NUMBER:

**A1**

**GENERAL NOTES:**

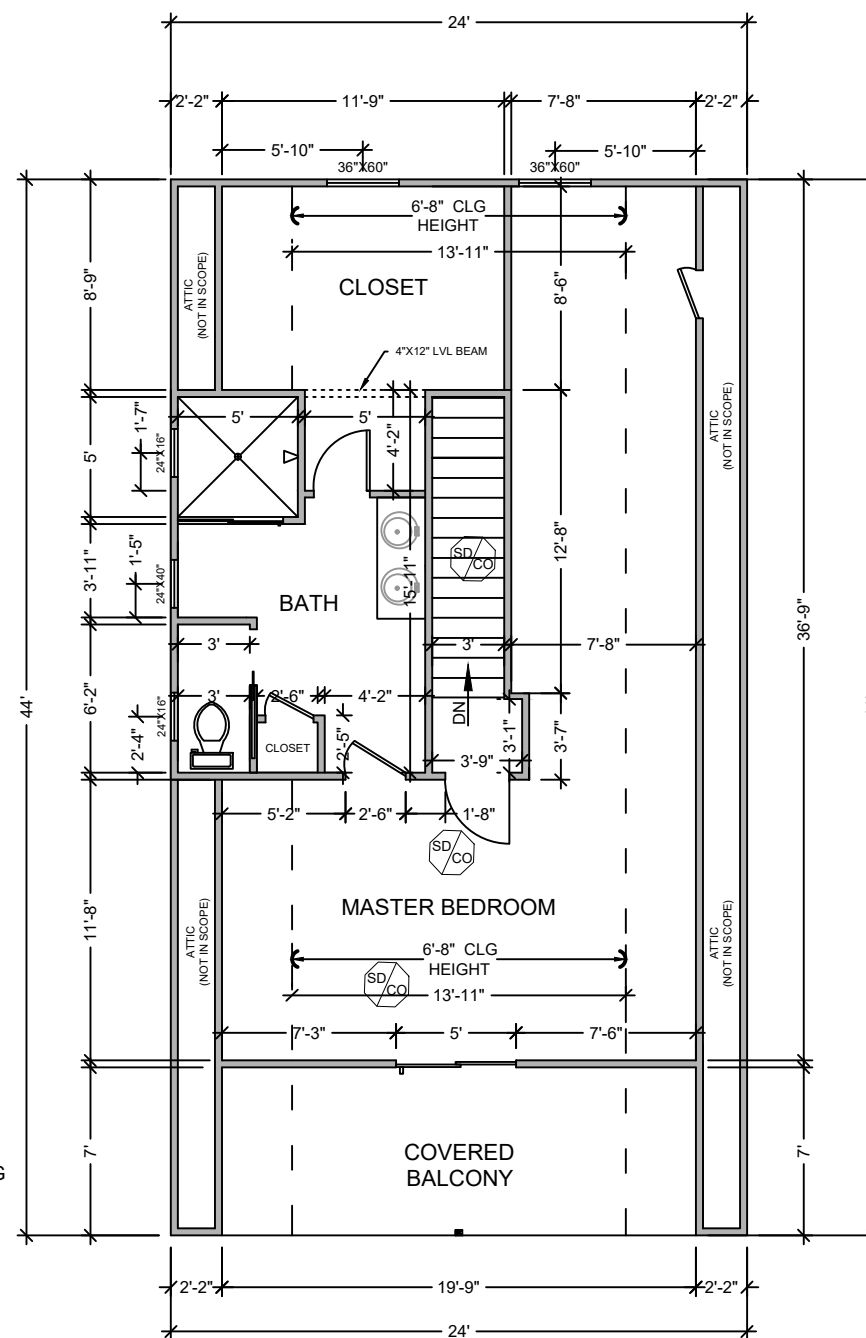
- 1.- THESE DRAWINGS ARE INTENDED TO OUTLINE THE GENERAL SCOPE OF WORK, CONTRACTOR SHALL FIELD VERIFY ALL ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING ANY WORK, CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND GENERALLY ACCEPTED TRADE PRACTICES.

**2.- BEDROOM WINDOWS EMERGENCY ESCAPE**  
JELD WEN DOUBLE HUNG WINDOW.  
WINDOW SIZE: (3'0" X 5'0") = 36"X60"  
OPENINGS: (2.75 X 3.75)  
NET OPENING AREA: (11.25 SQ.FT.)

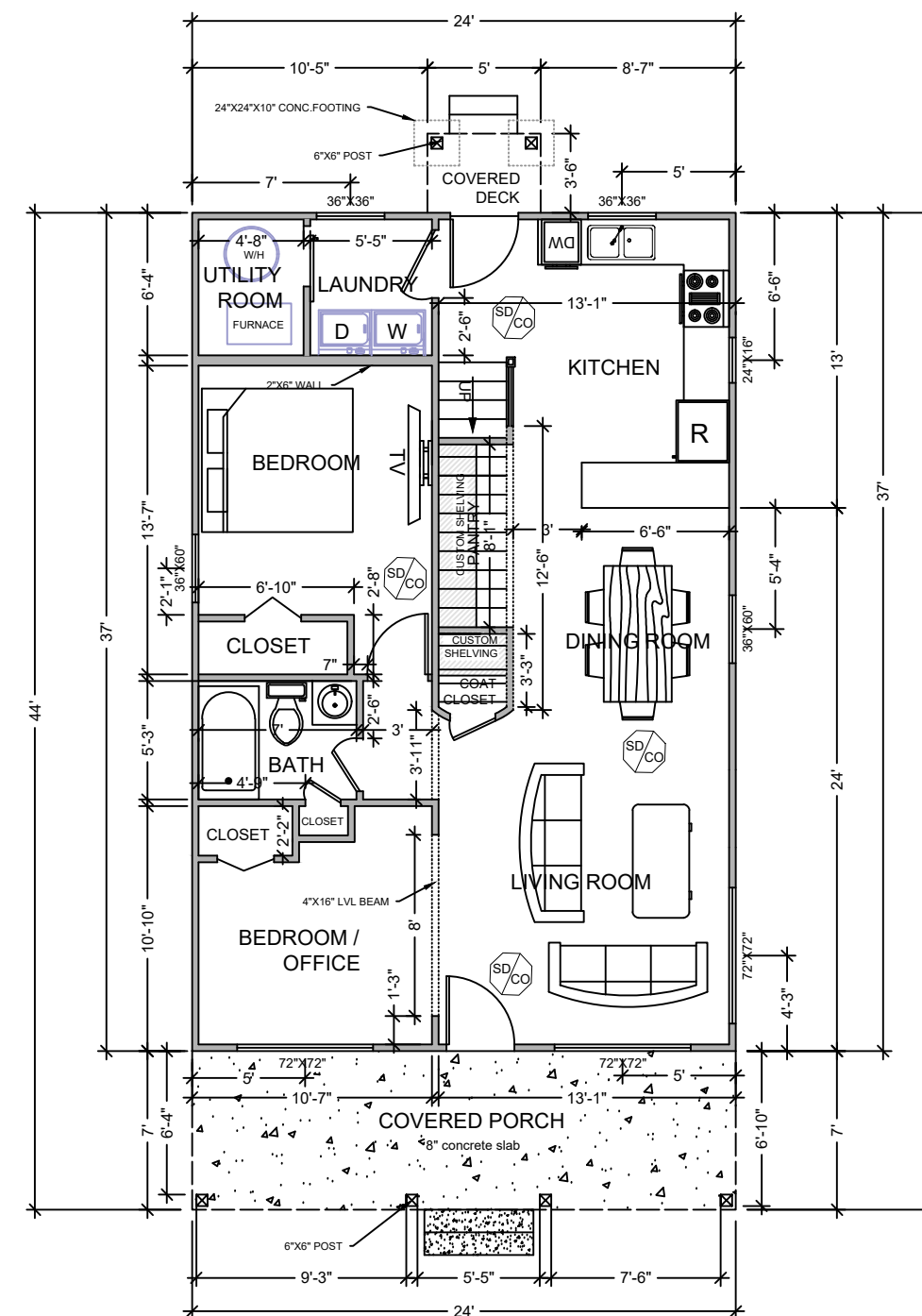
**SMOKE DETECTOR W/ CARBON MONOXIDE DETECTOR**

**GENERAL NOTES:**

- 1.- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE MEANS, METHODS, OR PROCEDURES REQUIRED TO PERFORM THE WORK.
- 2.- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MEMBER SIZES, AND FIELD CONDITIONS PRIOR TO COMMENCING ANY WORK, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 3.- ALL DIMENSIONS SHOWN ON THE DRAWINGS MUST BE VERIFIED DURING LAYOUT, DIMENSIONS ARE FACE TO FACE OF STUDS.
- 4.- THIS SCOPE OF WORK IS DESIGN-BUILD IN NATURE. NOT ALL CONDITIONS, CONNECTIONS NOR TRANSITIONS MAY BE SHOWN. CONTRACTORS SHALL DETERMINE THE BEST MEANS FOR ACHIEVING THE INDICATED DESIGN INTENT. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK, SUCH THAT ALL UNFORESEEN CHALLENGES CAN BE RESOLVED BY MINIMALLY IMPACTING THE CONSTRUCTION SCHEDULE AND BUDGET. RIVERA GROUP LLC SHALL BEAR NO FINANCIAL RESPONSIBILITY FOR THE CONSTRUCTABILITY OF THIS PROJECT.



**2** PROPOSED 2ND FLOOR PLAN  
2nd Floor Area: 924 Sq. Ft.



**1** PROPOSED 1ST FLOOR PLAN  
House Area: 893 Sq. Ft.  
Front Porch Area: 168 Sq.Ft.  
Back Deck Area: 18 Sq.Ft.



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SCALE

1/8"=1'-0"

ISSUE DATE

04/20/2020

DRAWN BY

J.DE. JESUS

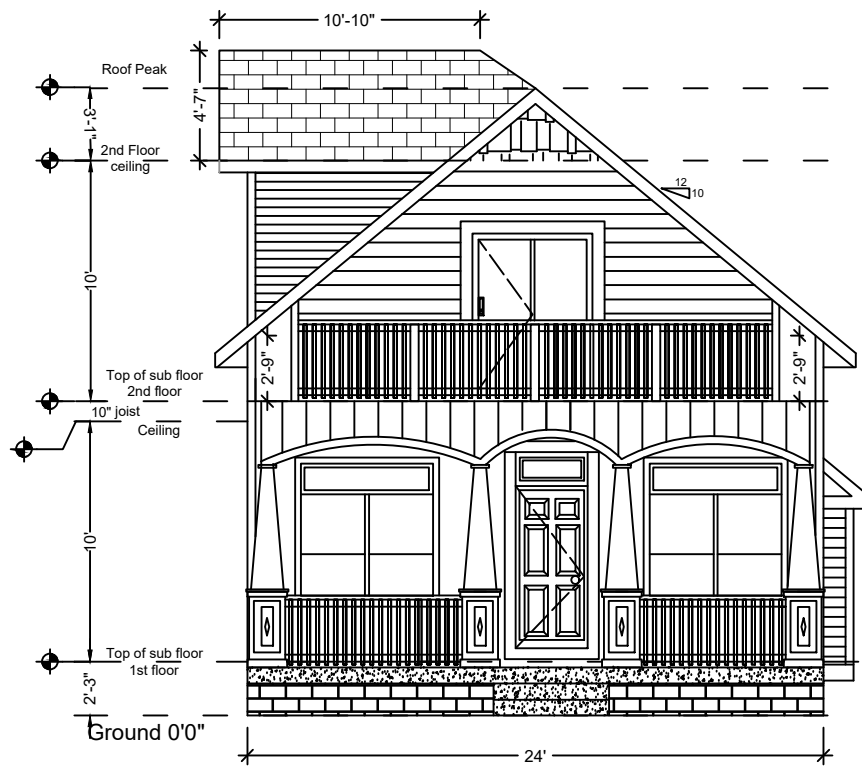
DRAWING TITLE:

PROPOSED ELEVATIONS

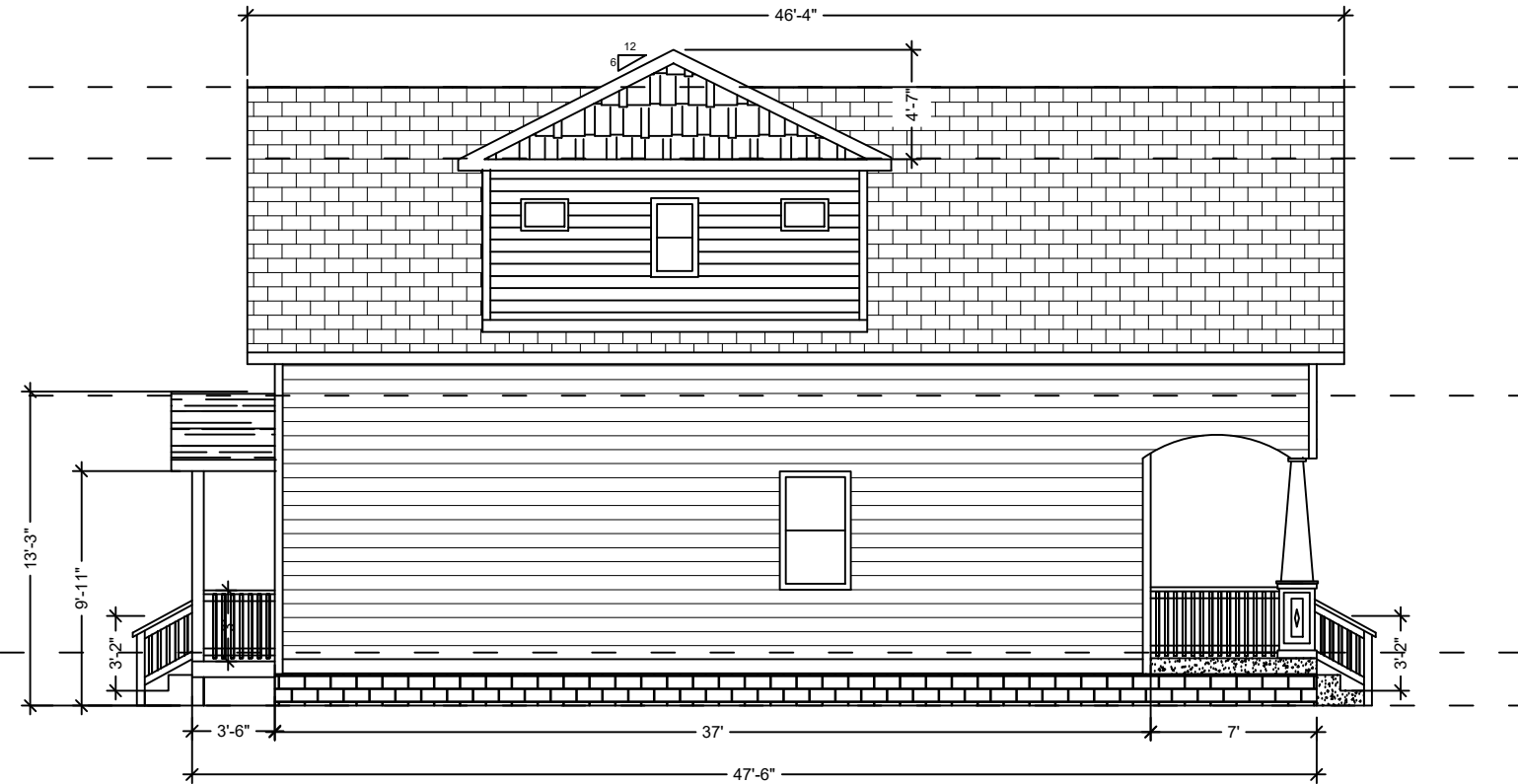
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SHEET NUMBER:

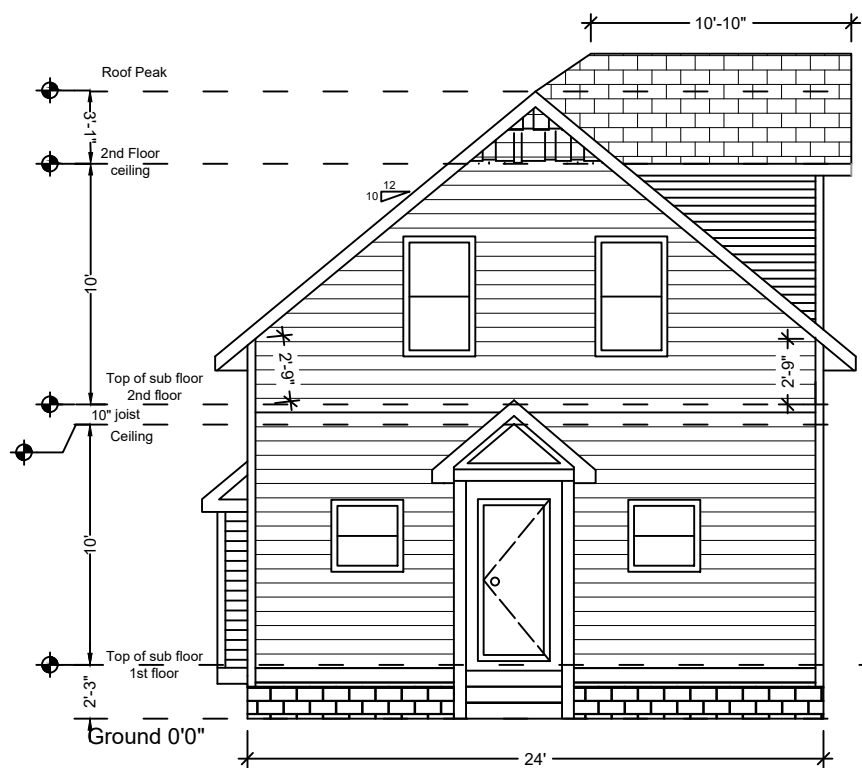
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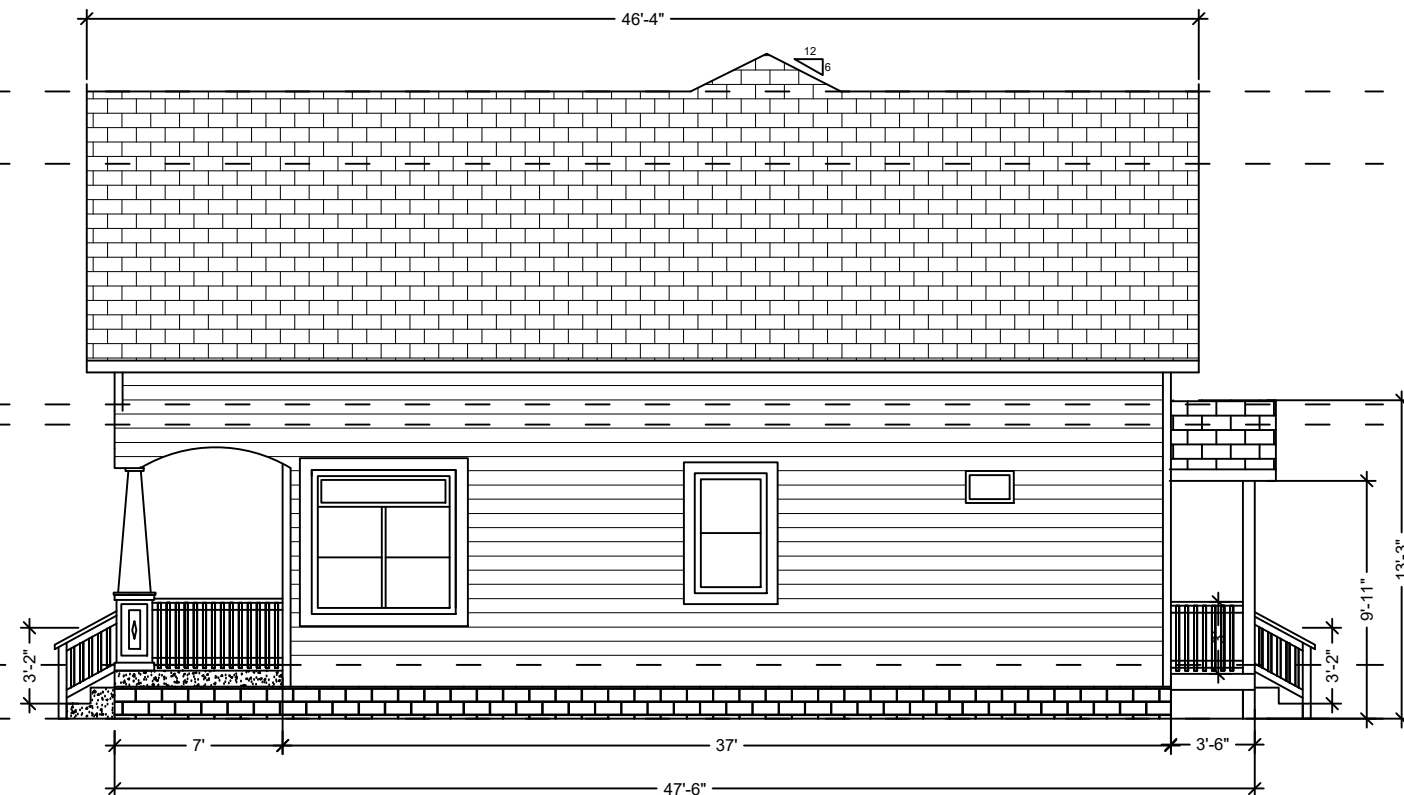
FRONT SIDE WEST ELEVATION



LEFT SIDE NORTH ELEVATION



BACK SIDE EAST ELEVATION



RIGHT SIDE SOUTH ELEVATION







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DRAWN BY  
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DRAWING TITLE:  
ROOF FRAMING  
PLAN

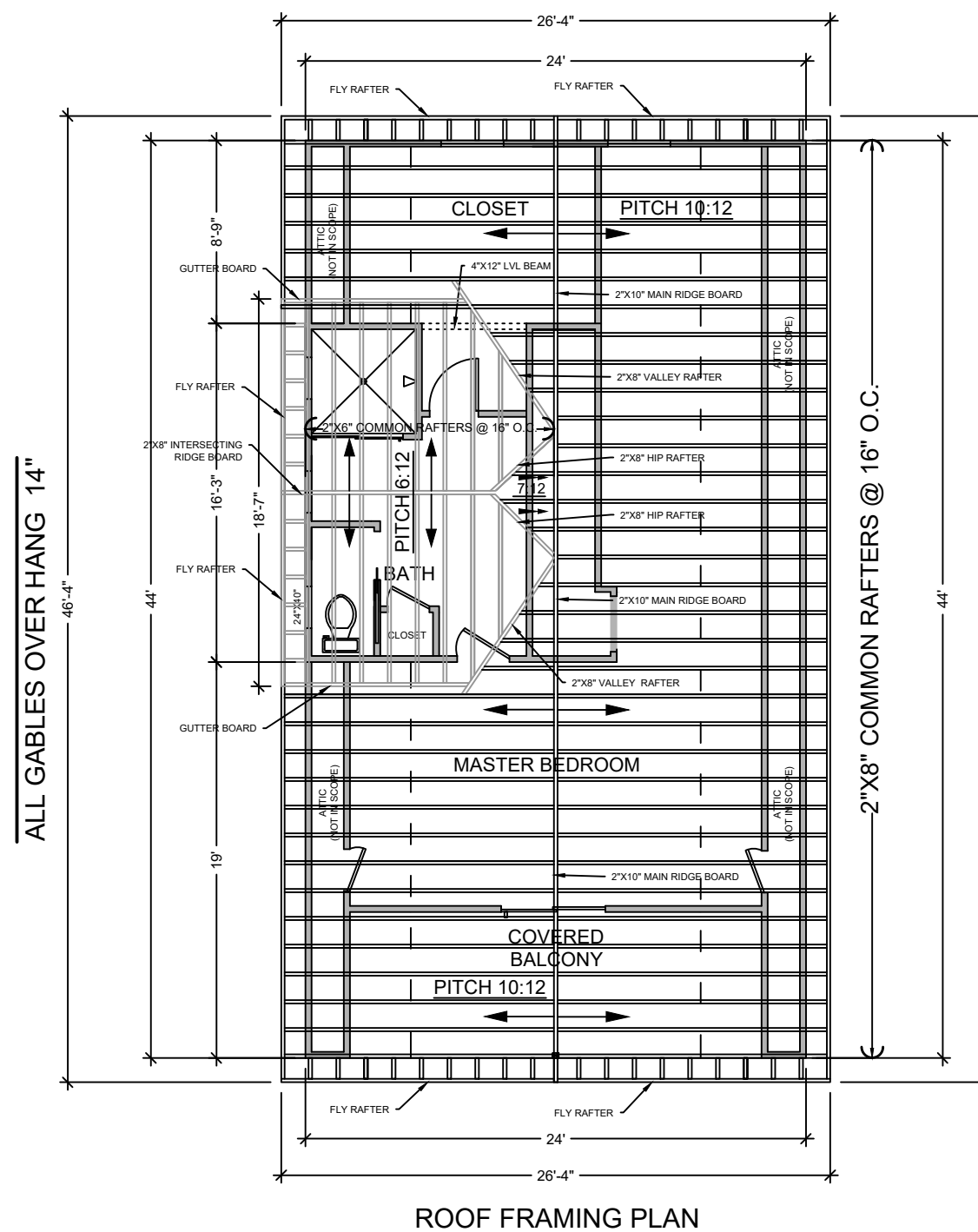
CERTIFIED BY:

SHEET NUMBER:

S3

**GENERAL ROOF NOTES:**

- 1.- THESE DRAWINGS ARE INTENDED TO OUTLINE THE GENERAL SCOPE OF WORK. CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING ANY WORK. CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR ADHERING ALL APPLICABLE CODES AND GENERALLY ACCEPTED TRADE PRACTICES.
- 2.- COORDINATE FLASHING REQ'S AND PENETRATIONS THROUGH ROOF SYSTEM WITH RESPECTIVE TRADES. PROVIDE WEATHERTIGHT INSTALLATION WHERE PENETRATIONS ARE REQUIRED. UTILIZE SMACNA MINIMUM STANDARDS (TYP).
- 3.- DETAILING, FABRICATION AND ERECTION OF WOOD FRAMING SHALL BE BY G.C. AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITIONS OF THE TIMBER CONSTRUCTION MANUAL AND INDIANA RESIDENTIAL CODE. RAFTER LOAD DESIGNS SHALL BE IN COMPLIANCE WITH THE MINIMUMS SET FORTH IN THE INDIANA RESIDENTIAL CODE OR APPLICABLE TO THE BUILDING USE FOR THE SPECIFIED ROOF MATERIALS.
- 4.- UTILIZE SYNTHETIC ROOFING FELT UNDERLAYMENT AND PROVIDE MIN. 3/0" WIDE SELF-HEALING ADHESIVE ICE & WATER SHIELD AT VALLEYS, EAVES, PENETRATIONS AND ALL LOW SLOPE OR TRANSITIONAL AREAS WHERE WATER INTRUSION MAY BE MORE LIKELY TO OCCUR.
- 5.- DOWNSPOUTS SHALL NOT DRAIN ONTO OTHER ROOF SURFACES, UNLESS NO OTHER REASONABLE OPTION IS AVAILABLE. UTILIZE EXISTING SUB-GRADE DRAINAGE (FIELD VERIFY) OR SHEET DRAIN WHERE DOWNSPOUTS DISCHARGE ON HARD PAVED SURFACE. FIELD VERIFY FINAL LOCATIONS AND LAYOUT PRIOR TO INSTALLATION OF FINISHED GRADING AND COORDINATE WITH EARTHWORK SUB-CONTRACTOR AS REQUIRED.
- 6.- PREVENT GALVANIC ACTION OF DISSIMILAR METALS (I.E. COPPER AND ALUMINUM) WITH ISOLATION OF CONSTRUCTION COMPONENTS OR TRANSITION DESIGN COMPLIANT WITH MAJOR TRADE ASSOCIATIONS RELATED TO MATERIALS AND TRADE PRACTICES.
- 7.- WHETHER OR NOT SPECIFICALLY SHOWN ON THE PLAN, PROVIDE RIDGE OR OTHER VENTING AS REQUIRED BY CODE SIZED APPROPRIATELY TO MEET CODE REQUIRED VENTILATION REQUIREMENTS AT RIDGES, EAVES, FASCIA, SOFFITS, ETC.
- 8.- PROVIDE R-38 INSULATION AT CEILING ASSEMBLY OVER CONDITIONED SPACE (TYPICAL). UTILIZE BATTS, OR BLOWN-IN FIBERGLASS AS REQUIRED TO ACHIEVE INSULATION RATING. PROVIDE EXPANDING SPRAY FOAM IN AREAS WHERE BATT OR LOOSE FILL WILL NOT ACHIEVE INSULATION VALUES REQUIRED BY CODE.



ALL GABLES OVER HANG 14"

2"X8" COMMON RAFTERS @ 16" O.C.





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PROJECT:  
1723 REMBRANDT ST  
Indianapolis, IN, 46202

SCALE  
1/4"=1'-0"

ISSUE DATE  
04/20/2020

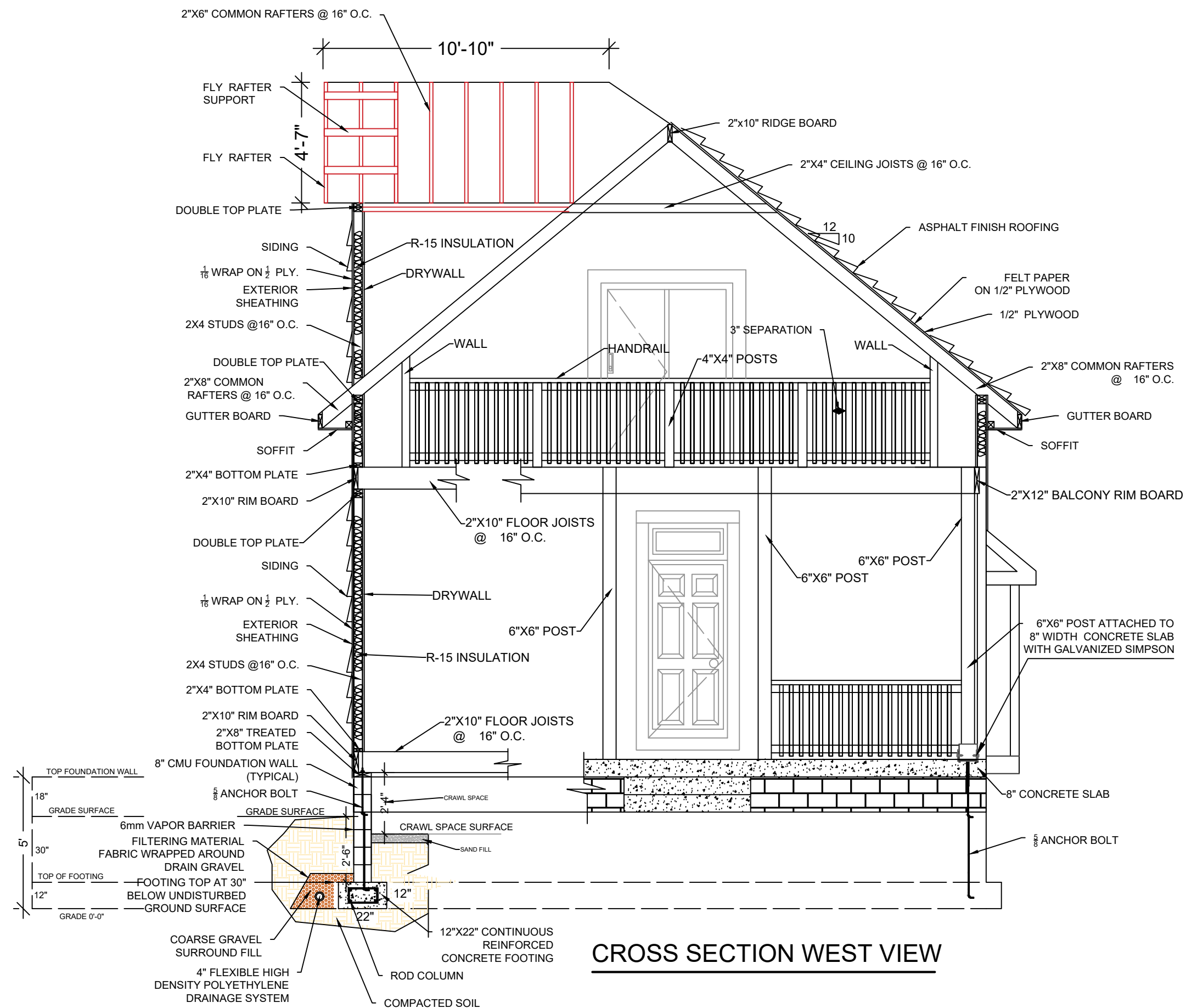
DRAWN BY  
J.DE. JESUS

DRAWING TITLE:  
CROSS SECTION

CERTIFIED BY:

SHEET NUMBER:

S4





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SCALE

1/4"=1'-0"

ISSUE DATE

04/20/2020

DRAWN BY

J.DE. JESUS

DRAWING TITLE:

STAIR  
DETAILS

CERTIFIED BY:

SHEET NUMBER:

S5

46'-4"

12  
6

DESIGN SPECIFICATIONS:

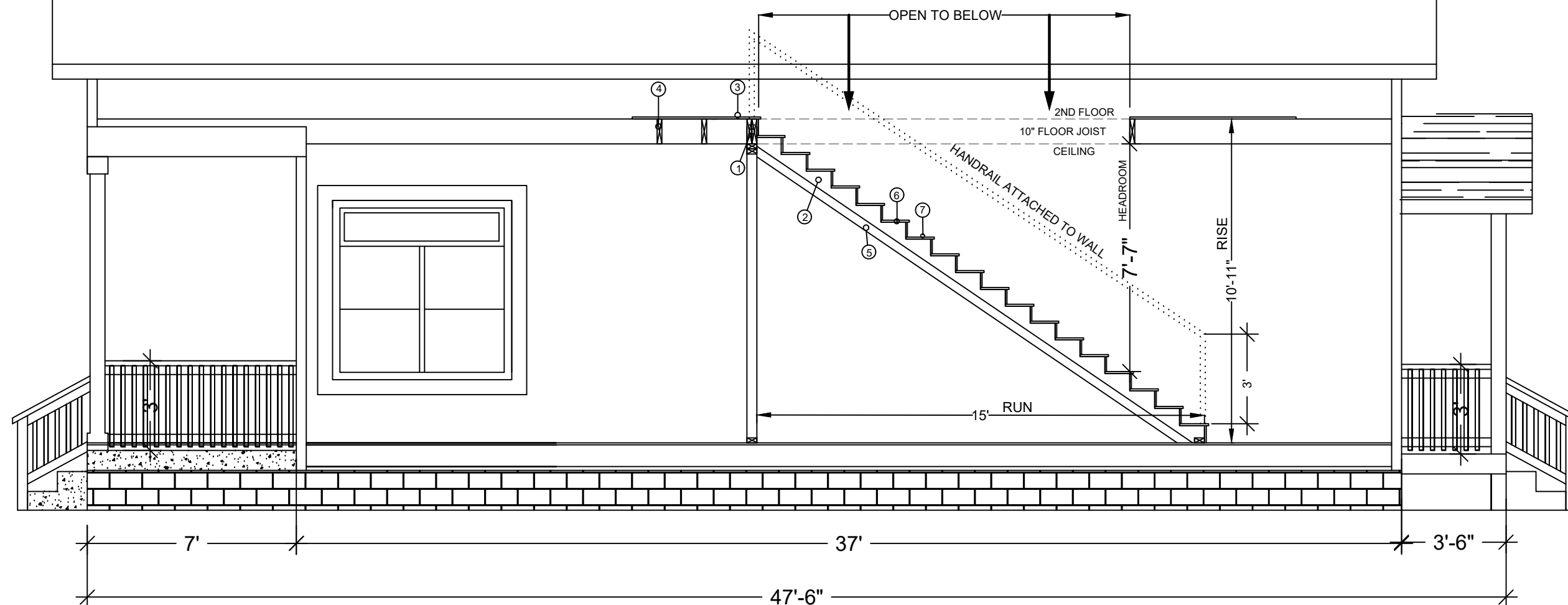
18 Risers  
7" Rise  
12" Tread  
15' Run  
10'-11" Total Rise  
(Verify dimensions on site)

NOTES:

- 1- These drawings are intended to outline the general scope of work, contractor shall field verify all existing conditions and dimensions before starting any work, contractors shall also be responsible for adhering to all applicable codes and generally accepted trade practices.
- 2- The maximum riser height shall be 7 3/4".
- 3- The minimum tread depth shall be 10".
- 4- Maximum space between rails shall be 3 inches.

KEYNOTE: ○—○

- ① DOUBLE FLOOR JOIST
- ② 2"X12" STAIR STRINGERS AT 12" O.C. W/ ONE ADJASCENT TO WALL TYPICAL EACH SIDE
- ③ PLYWOOD SUB FLOOR
- ④ FLOOR JOISTS
- ⑤ 2"X4" ATTACHED TO EACH STRINGER SIDE
- ⑥ CUT PLYWOOD RISES OR TREADS, FASTEN TO 2X STAIR STRINGERS W/ GLUE AND DRYWOD SCREWS
- ⑦ NOTE: ALLOW FOR FINISH 1"X12" BOARD



STAIR DETAILS SOUTH VIEW

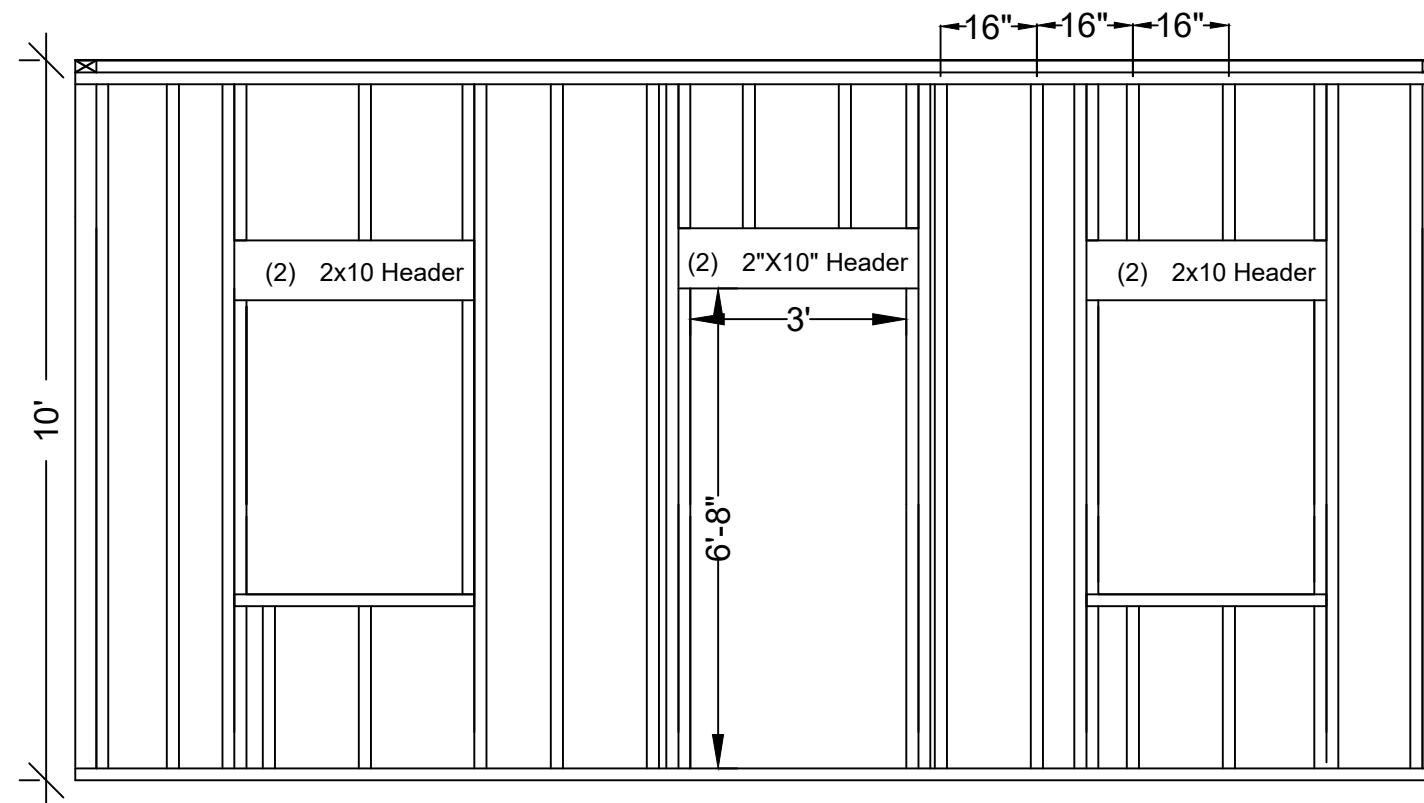




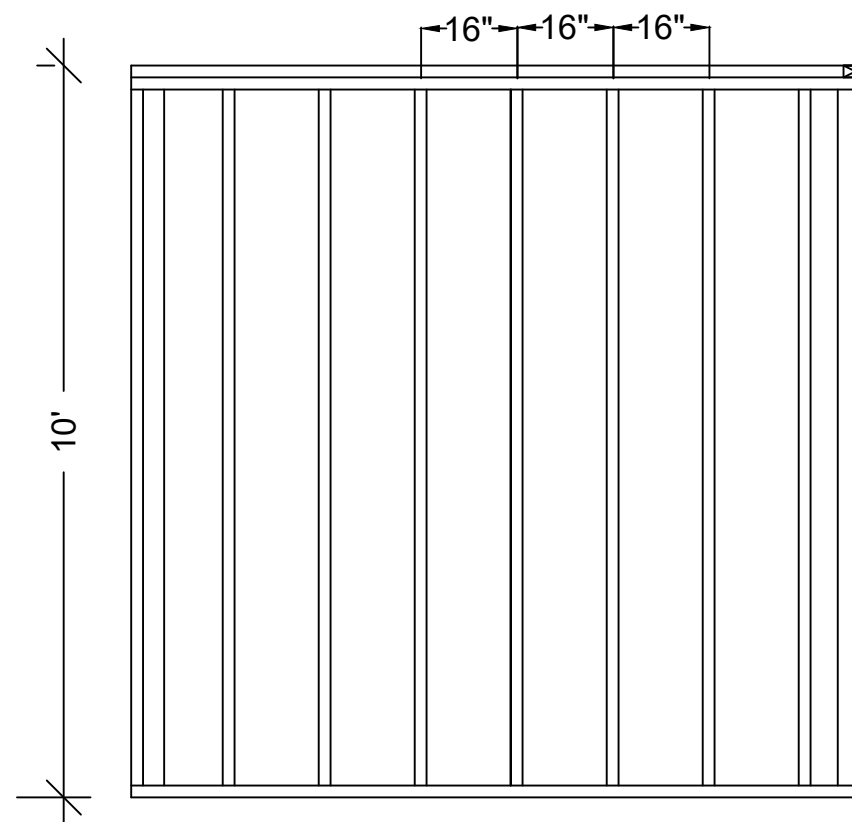
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EXTERIOR TYPICAL DOOR AND WINDOW FRAMING



WALL SECTION

SCALE

3/8"=1'-0"

ISSUE DATE

04/20/2020

DRAWN BY

J.DE. JESUS

DRAWING TITLE:

WALL FRAMING  
SECTION

CERTIFIED BY:

SHEET NUMBER:

S6



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SCALE  
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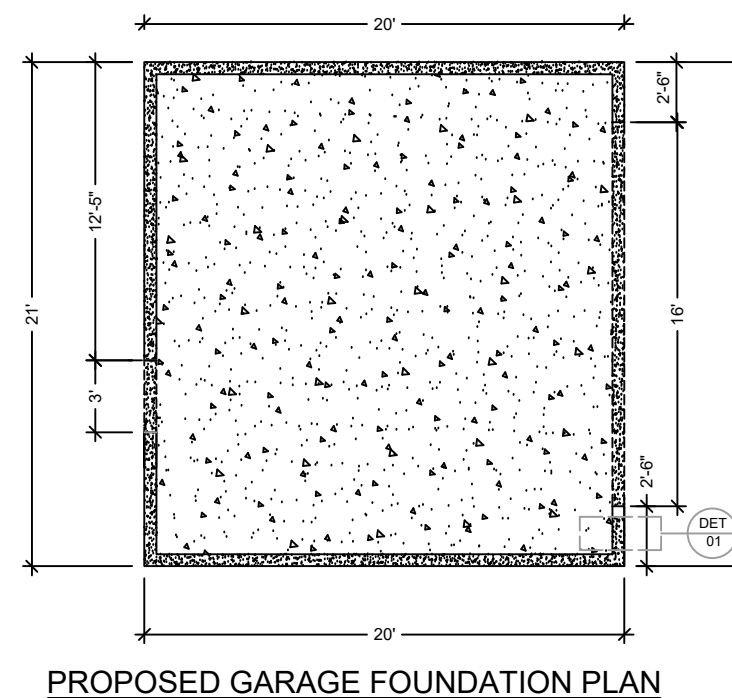
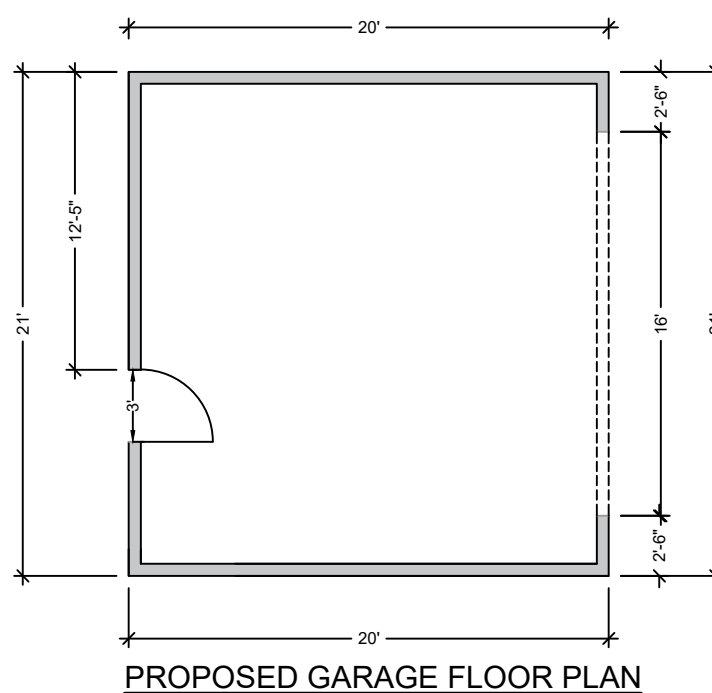
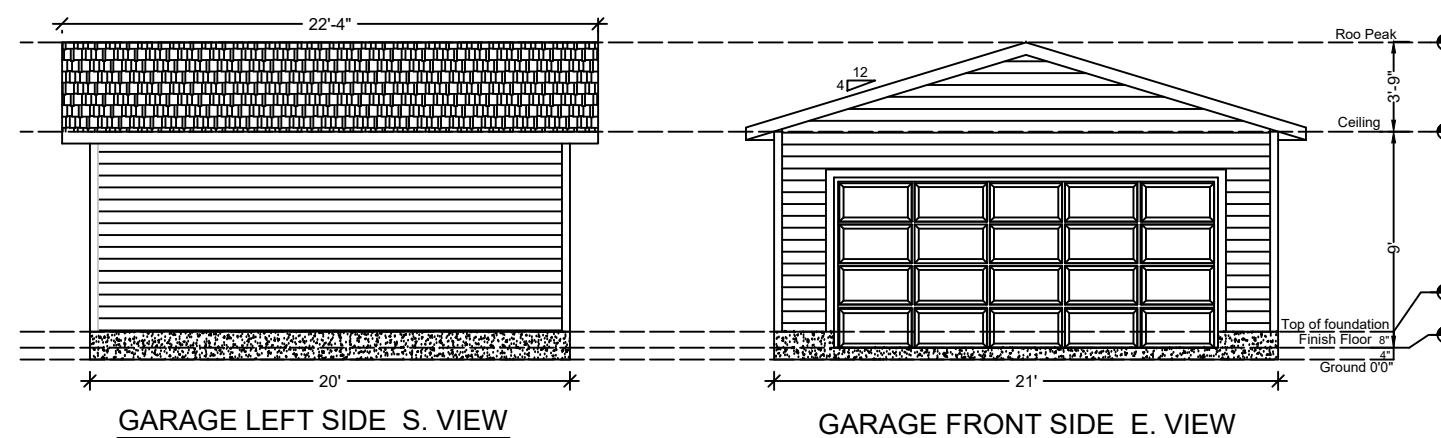
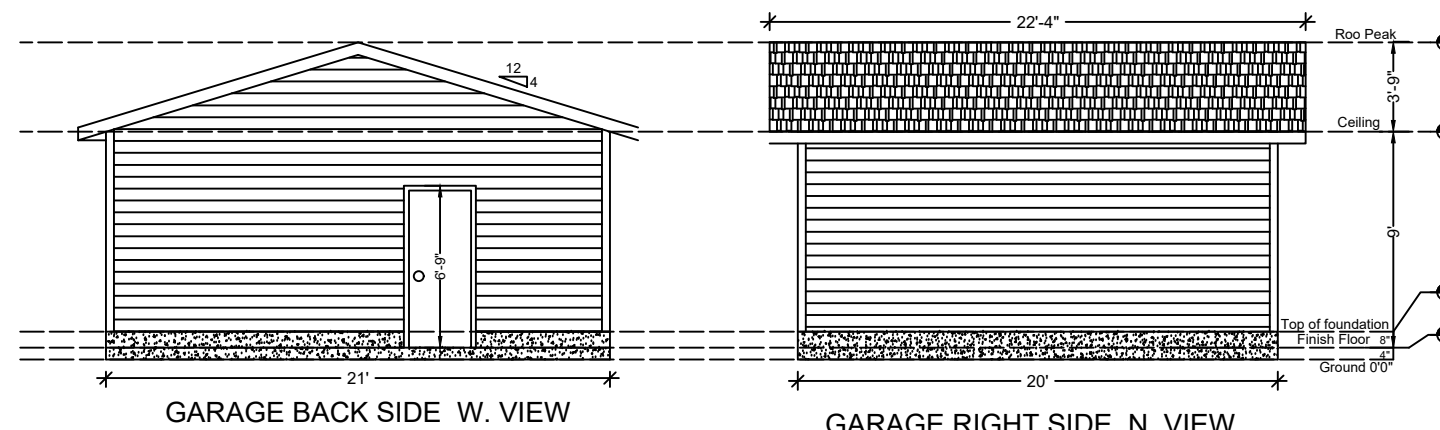
DRAWN BY  
J.DE. JESUS

DRAWING TITLE:  
GARAGE  
FLOOR PLANS  
+  
ELEVATIONS

CERTIFIED BY:

SHEET NUMBER:

A3

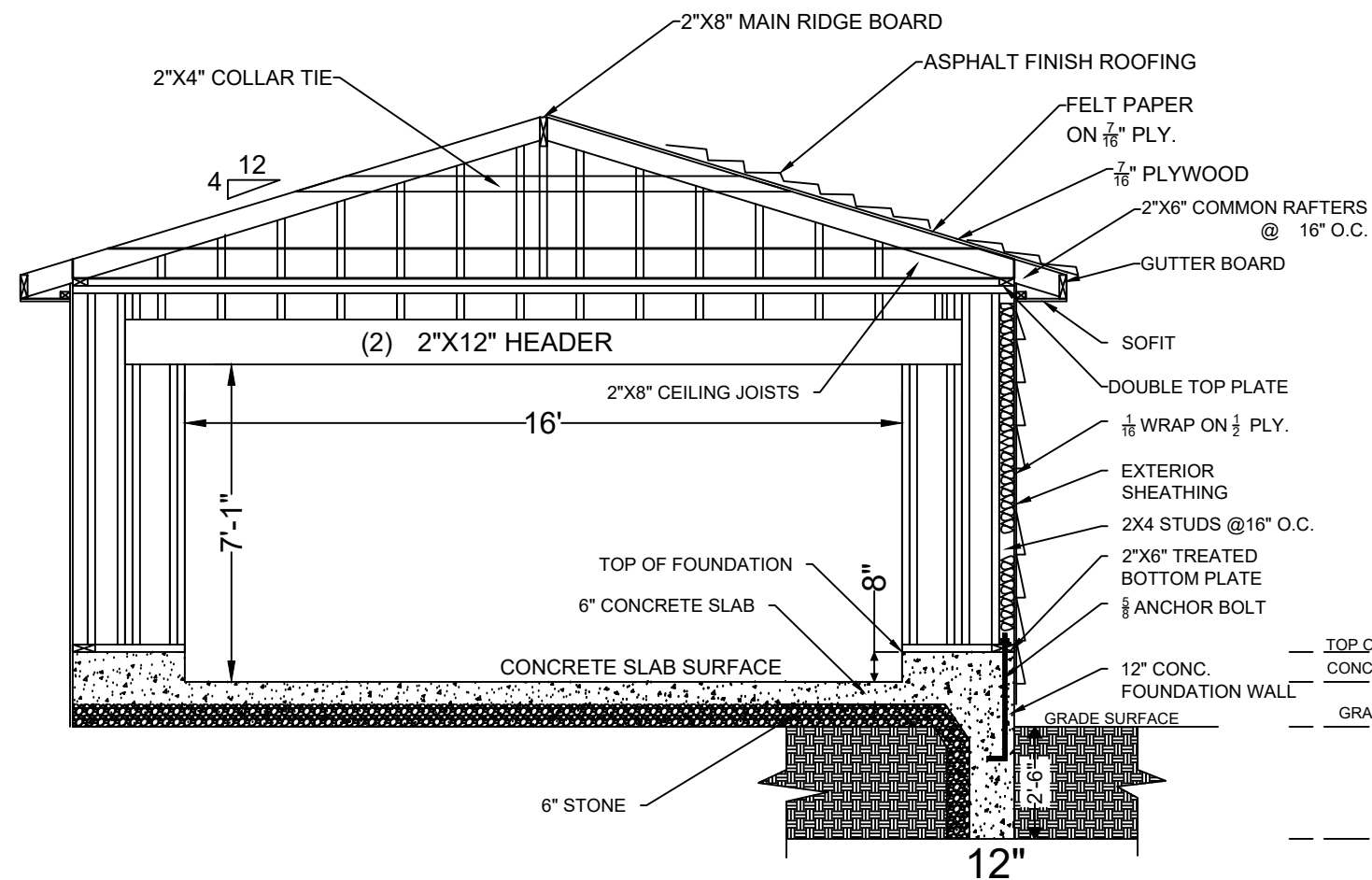




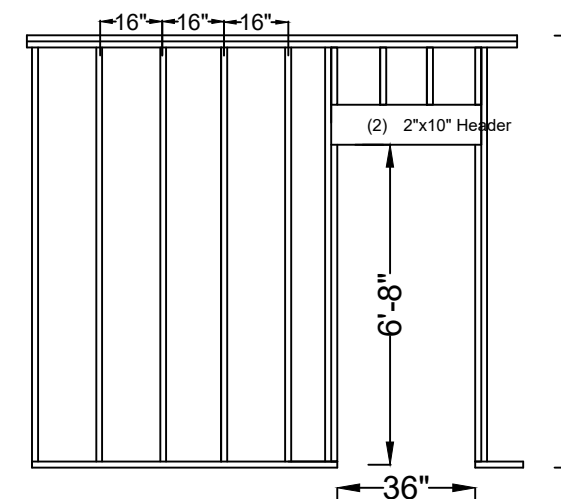
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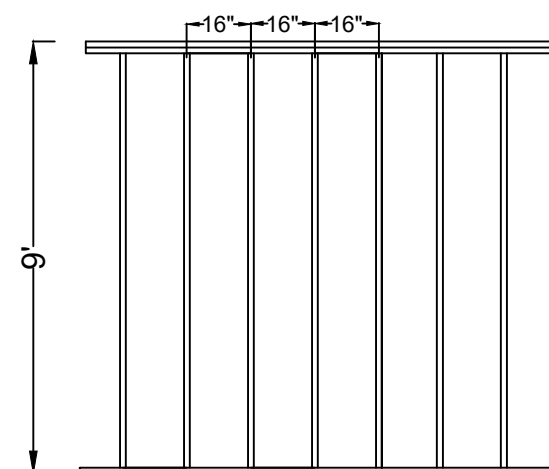
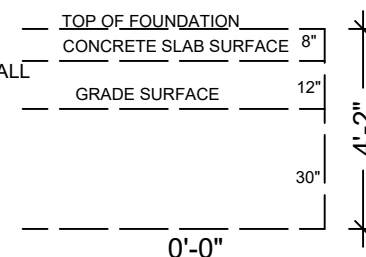
PROJECT:  
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GARAGE CROSS SECTION AND  
DOOR FRAMING DETAILS  
EAST VIEW



TYPICAL DOOR



WALL SECTION

SCALE  
1/4"=1'-0"

ISSUE DATE  
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DRAWN BY  
J.DE. JESUS

DRAWING TITLE:  
GARAGE  
CROSS SECTION

CERTIFIED BY:

SHEET NUMBER:

**S7**